EXHIBIT D-1

Board of Zoning Adjustment
District of Columbia
CASE NO.20047
EXHIBIT NO.5A1

JOHN EATON ELEMENTARY

3301 LOWELL STREET, NW
WASHINGTON DC 20008

BZA SUBMISSION
APRIL 30, 2019

JOHN EATON ELEMENTARY SCHOOL
MODERNIZATION

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APPLICABLE CODES:

Building: 12 DCMR A, Building Code Supplement, International Building Code – 2012 Ed.(IBC)

Electrical: 12 DCMR C, Electrical Code Supplement, National Electrical Code, (NFPA 70) – 2011 Edition

Mechanical: 12 DCMR E, Mechanical Code Supplement, International Mechanical Code – 2012 Ed.

Plumbing: 12 DCMR F, Plumbing Code Supplement, International Building Code – 2012 Ed.

Fire Prevention: 12 DCMR H, Fire Code Supplement, International Fire Code – 2012 Ed. (IFC)

Accessibility: 2010 Americans with Disabilities Act, Standards for Accessible Design (ADA); ICC A117.1, Accessible and Usable Buildings and Facilities – 2009 Ed.

Other: National Fire Protection Association (NFPA) Standards, as referenced by the 2012 IBC, including NFPA 10, NFPA 13, NFPA 72, etc.

12 DCMR D, Fuel Gas Code Supplement, International Fuel Gas Code – 2012 Ed.

12 DCMR I, Energy Code Supplement, International Energy Conservation Code – 2012 Ed.

12 DCMR K, Green Construction Code Supplement, International Green Construction Code – 2012 Ed.

DC Law 8-36 District of Columbia Environmental Policy Act of 1989

DCMR Title 11- Zoning Requirements

ZONING NOTES:

Project Name: John Eaton Elementary School Modernization

Project Address: 3301 Lowell Street, NW Washington, DC 20008

Square: 2088

Lot: 0800, 1

Zoning Class: R-1-B

Lot Area: 66,150 SF (1.5 Acres)

Flood Zone: FEMA Flood Map 1100010012C Zone X - Minimal Flood Hazard

ZONING NOTES (Continued):

Historic District: Cleveland Park Historic District

Use: District of Columbia Public School, Primary education, Pre-K through grade 5 (no change of use).

GAR: Not required within R-1B

Set Backs: Front yard Section B-315.3, if a lot has more than one street lot line, the owner may choose the lot line that shall determine the application of any front setback requirement.

The front yard is currently considered to be Lowell Street and no changes proposed.

ZONING DATA SUMMARY

DATA	EXISTING	PROPOSED	ALLOWED / REQUIRED
SETBACKS & BUILDING HEIGHTS - Per C1606.1			
Front Yard Setback (Lowell Street)	9.6' Linear Feet	9.6' Linear Feet	0' Linear Feet / Not Required
Side Yard Setback (Left when gacing the property)	0' Linear Feet	0' Linear Feet	0' Linear Feet / Not Required
Side Yard Setback (Right when gacing the property)	3' Linear Feet	3' Linear Feet	0' Linear Feet / Not Required
Rear Yard Setback (Macomb Street)	94.5' Linear Feet	48.5' Linear Feet	25' Linear Feet*
Building Height (Stories)	3 Stories	3* Stories	4 Stories
Building Height (Feet)	56'-9"	56'-9"	60'
* Aditional Relief for corner lots available per C-1606.2, but not required for compliance			
AREAS			
Lot Area	66,150 Square feet	66,150 Square feet	-
Gross Floor Area** (GFA) of Entire Building (Sum of all floors)	52,543 Square feet	77,365 Square feet	59,535 Square feet
Floor Area Ratio ** (FAR = GFA / Lot Area)	0.79 FAR	1.17 FAR	0.9 FAR
Building Area	22,181 Square feet	30,147 Square feet	39,090 Square feet
Lot Occupancy (Building Area / Lot Area)	34%	46.30%	60.00%
**GFA Calculated per 304 using Building height measuring point calculated from the average of proposeed grade at the midpoint of the front and rear building facades (Proposed grade is lower that existing in both locations).			
AREAS			
Penhouses (Mechanical)	1 - to be demolished in full 11' high	1 (19' x 23' nom) 10' high	Not required***
Parking (Per C-702 within an R Zone)	0 - No on site parking	0 - No on site parking	Not required***
Bicycle Parking - Short Term (Education public Per C-802.1)	14	14	Not required***
Bicycle Parking - Long Term (Education public Per C-802.1)	0	0	Not required***
Showers (Per C-806.1)	1 Shower (not functioning)	1 Shower	Not required***
	0 Showers	1 Shower	Alternate compliance per zoning 2 minimum or as required for new construction
Loading Dock (Per C-901.1)	1	1	Not required***
Pervious Area (Per C-1609)	15,954 sf	20,779 sf	30% x 66,150 = 19,845 sf
	24.1%	31.4%	30%
***For historic resources, vehicle parking, bicycle parking, and loading requirements are triggered when the addition will result an increase of more than 50% of the existing GFA. Based on the calculations, the additional GFA will be 24,822 sq. ft., which is less than 50% of the GFA of the existing building (50% of 52,543 sq. ft. = 26,271.5 sq. ft.). Accordingly, additional vehicle parking, bicycle parking, and loading are not required.			

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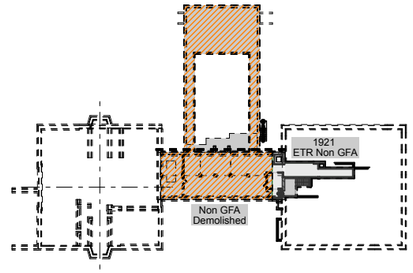
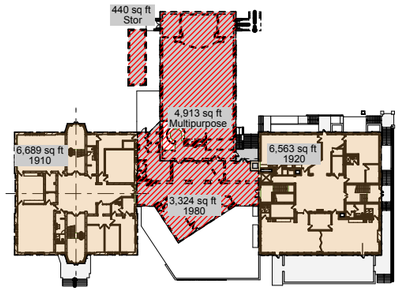
Existing GFA By Floor Areas						
	Existing to Remain		Demolished		Combined	
Level - Basement						
All below average grade - non GFA						
TOTAL - Level 0	**-**		**-**			
Level - 1						
1910 Pavilion	6,689	sf				
1920 Pavilion	6,563	sf				
1930 Multipurpose			4,913	sf		
1980 Connector			3,324	sf		
Storage Building			440	sf		
New Construction						
TOTAL - Level 1	**13,252**	**sf**	**8,677**	**sf**	**21,929**	**sf**
Level - 2						
1910 Pavilion	6,591	sf				
1920 Pavilion	6,463	sf				
1930 Multipurpose			414			
1980 Connector			4,100			
New Construction						
TOTAL - Level 2	**13,054**		**4,514**		**17,568**	**sf**
Level - 3						
1910 Pavilion	6,591	sf				
1920 Pavilion	6,455	sf				
1930 Multipurpose						
1980 Connector						
New Construction						
TOTAL - Level 3	**13,046**		**-**		**13,046**	**sf**
TOTAL Existing GFA	**39,352**	**sf**	**13,191**		**52,543**	sf



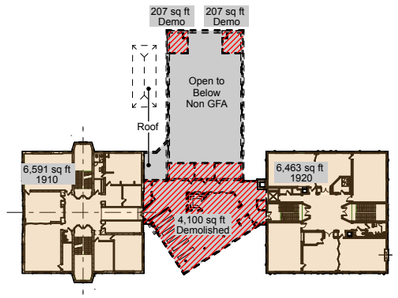
Lower Level Existing

SCALE: 1" =100'



1st Fl Existing

SCALE: 1" =100'



2nd Fl Existing

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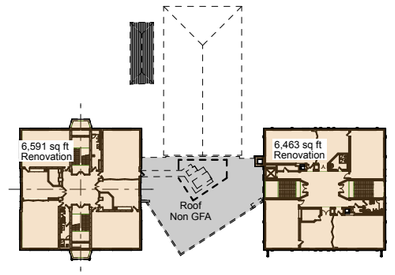

3rd Fl Existing

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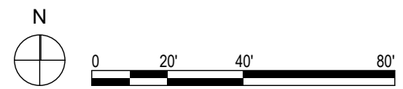

BZA Submission **Existing GFA Take Offs**

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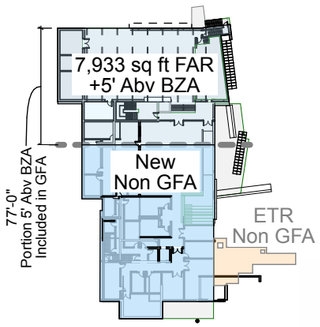
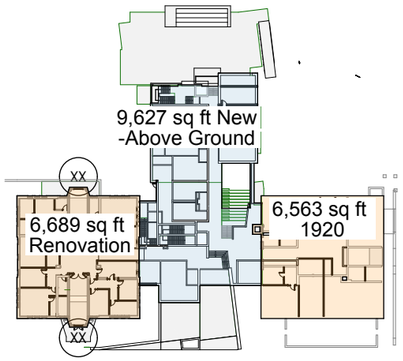
Proposed GFA By Floor Areas					
	Renovation	Proposed Construction		Combined	
Level - Basement					
Remainder Below Grade - Non GFA					
New w 5' Above BMP - Contributing to GFA		7,933			
TOTAL - Level 0	**-**	**7,933**	**sf**		
Level - 1					
1910 Pavilion	6,689 sf				
1920 Pavilion	6,563 sf				
1930 Multipurpose					
1980 Connector					
Storage Building					
New Construction		9,627	sf		
TOTAL - Level 1	**13,252 sf**	**9,627**	**sf**	**22,879**	**sf**
Level - 2					
1910 Pavilion	6,591 sf				
1920 Pavilion	6,463 sf				
1930 Multipurpose					
1980 Connector					
New Construction		9,980	sf		
TOTAL - Level 2	**13,054**	**9,980**	**sf**	**23,034**	**sf**
Level - 3					
1910 Pavilion	6,591 sf				
1920 Pavilion	6,455 sf				
1930 Multipurpose					
1980 Connector					
New Construction		10,473	sf		
TOTAL - Level 3	**13,046 sf**	**10,473**	**sf**	**23,519**	**sf**
TOTAL Proposed GFA	**39,352 sf**	**38,013**	**sf**	**77,365**	**sf**



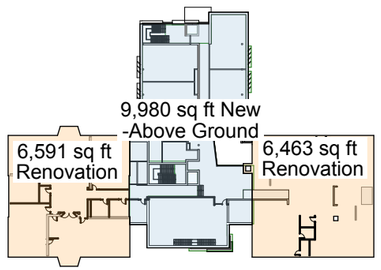
Lower level

SCALE: 1" =100'



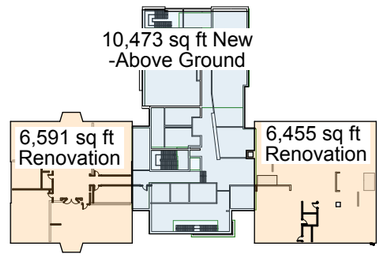
1st Floor Plan

SCALE: 1" =100'



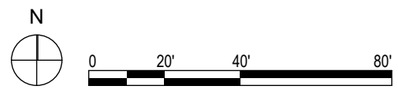
2nd Floor Plan

SCALE: 1" =100'



3rd Floor Plan

SCALE: 1" =100'



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BZA Submission **Existing Site Plan**

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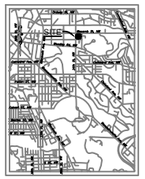
Structure Table	
Structure Name	Structure Details
4 MHD	RIM = 293.66 15" INV OUT = 289.70 NW
8 MHD	RIM = 292.34 42" INV IN = 281.28 W 15" INV IN = 283.50 S 15" INV IN = 285.61 NE 42" INV OUT = 281.01 E
13 MHD	RIM = 293.47 42" INV IN = 282.93 W 18" INV IN = 285.71 SW 15" INV IN = 285.55 SE 12" INV IN = 289.30 SW 42" INV OUT = 282.70 E
19 MHD	RIM = 294.16 15" INV IN = 290.67 W 15" INV IN = 290.65 S 12" INV IN = 290.65 SW 18" INV OUT = 290.44 NE
24 MHD	RIM = 294.68 15" INV OUT = 291.03 E
26 MHD	RIM = 296.11 15" INV OUT = 294.86 N
28 MHS	RIM = 293.40 12" INV IN = 282.48 W 12" INV OUT = 282.26 E
31 MHS	RIM = 293.96 12" INV IN = 284.34 S 12" INV IN = 282.97 W 12" INV OUT = 282.84 E
35 MHS	RIM = 301.84 12" INV IN = 291.17 S 10" INV IN = 289.45 E 12" INV OUT = 289.06 N
39 MHD	RIM = 301.16 15" INV IN = 291.70 S 10" INV IN = 289.47 E 15" INV OUT = 288.27 N
44 MHS	RIM = 313.14 15" INV IN = 304.04 W 15" INV OUT = 303.91 N
47 MHD	RIM = 313.77 12" INV IN = 305.64 W 10" INV IN = 310.68 NW 10" INV IN = 310.18 SW 15" INV OUT = 305.52 E
52 MHD	RIM = 314.74
53 MHS	RIM = 313.50 10" INV IN = 303.33 W 10" INV IN = 308.44 S 10" INV IN = 308.93 W 12" INV OUT = 303.26 N
58 MHD	RIM = 318.26 12" INV IN = 310.08 W 10" INV IN = 310.54 S 12" INV OUT = 309.88 E
62 MHD	RIM = 320.58 12" INV OUT = 312.95 E
64 MHS	RIM = 323.68 10" INV OUT = 314.85 E
66 MHD	RIM = 325.65 12" INV IN = 321.27 SW 12" INV IN = 322.07 NW 15" INV IN = 316.43 W 15" INV IN = 316.05 S 15" INV OUT = 315.95 N
72 MHS	RIM = 326.30 12" INV IN = 317.04 W 12" INV OUT = 314.44 N
74 MHD	RIM = 313.53 15" INV IN = 304.28 S 12" INV IN = 308.74 W 15" INV OUT = 304.10 N
78 MHD	RIM = 312.11
79 MHD	RIM = 312.69 15" INV IN = 302.83 S 18" INV IN = 303.82 SW 18" INV IN = 303.83 NW 12" INV IN = 304.62 SE 18" INV IN = 306.48 NW 24" INV OUT = 301.75 E
86 MHS	RIM = 313.48 12" INV IN = 302.93 S 12" INV IN = 303.33 W 12" INV OUT = 302.79 N
90 MHS	RIM = 313.19 12" INV IN = 301.83 S 10" INV IN = 301.90 N 12" INV IN = 298.63 W 12" INV OUT = 298.46 E



VICINITY MAP
SCALE: NOT TO SCALE

NOTES:

1. HORIZONTAL DATUM: DISTRICT OF COLUMBIA SURVEYOR'S OFFICE MERIDIAN
2. VERTICAL DATUM BASED ON DISTRICT OF COLUMBIA DEPARTMENT OF PUBLIC WORKS.
3. PROPERTY IS ZONED: R-1-B
4. THIS IS NOT A BOUNDARY SURVEY; PROPERTY INFORMATION SHOWN HEREON IS FOR INFORMATION PURPOSE ONLY AND WAS OBTAINED FROM RECORDS AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL CITY RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C. THIS SURVEY DOES NOT REFLECT A "SURVEY TO MARK"--THE PROPERTY LINE REFLECTED ON THIS SURVEY IS NOT TO BE USED FOR ANY CONSTRUCTION STAKEOUT PURPOSES. A "SURVEY TO MARK" MUST BE APPROVED BY THE OFFICE OF THE SURVEYOR PRIOR TO BEGINNING ANY BUILDING DEMOLITION OR CONSTRUCTION OPERATIONS.
5. THE UNDERGROUND UTILITIES INDICATED HEREON ARE DERIVED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND LIMITED SUBSURFACE UTILITY ENGINEERING (SUE)
   QUALITY LEVEL B DESIGNATION. THE LOCATION OF THESE UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND OTHER UTILITIES MAY EXIST WHICH HAVE NO RECORD
   DATA, OR ARE UNDETECTABLE WITH CONVENTIONAL METHODS. NO GUARANTEE OR WARRANTY IS EXPRESSED OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS OF
   UTILITY INFORMATION PROVIDED HEREON. UTILITIES LABELED (DATA) ARE SHOWN BASED
   UPON "DATA ACCORDING TO RECORDS".

SURVEYOR'S CERTIFICATE:

I, HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THA THIS SURVEY IS CORRECT; THAT THIS SURVEY WAS ESTABLISHED BY A TOTAL STATIC FIELD SURVEY MADE ON THE GROUND; THAT THE SURVEY CORRECTLY SHOWS THE HORIZONTAL AND VERTICAL LOCATION OF VISIBLE, ABOVE-GROUND IMPROVEMENTS SHOWN HEREON; AND THAT UNLESS OTHERWISE SHOWN, PROPERTY MARKERS WERE NOT BEEN SET WITH THIS SURVEY.

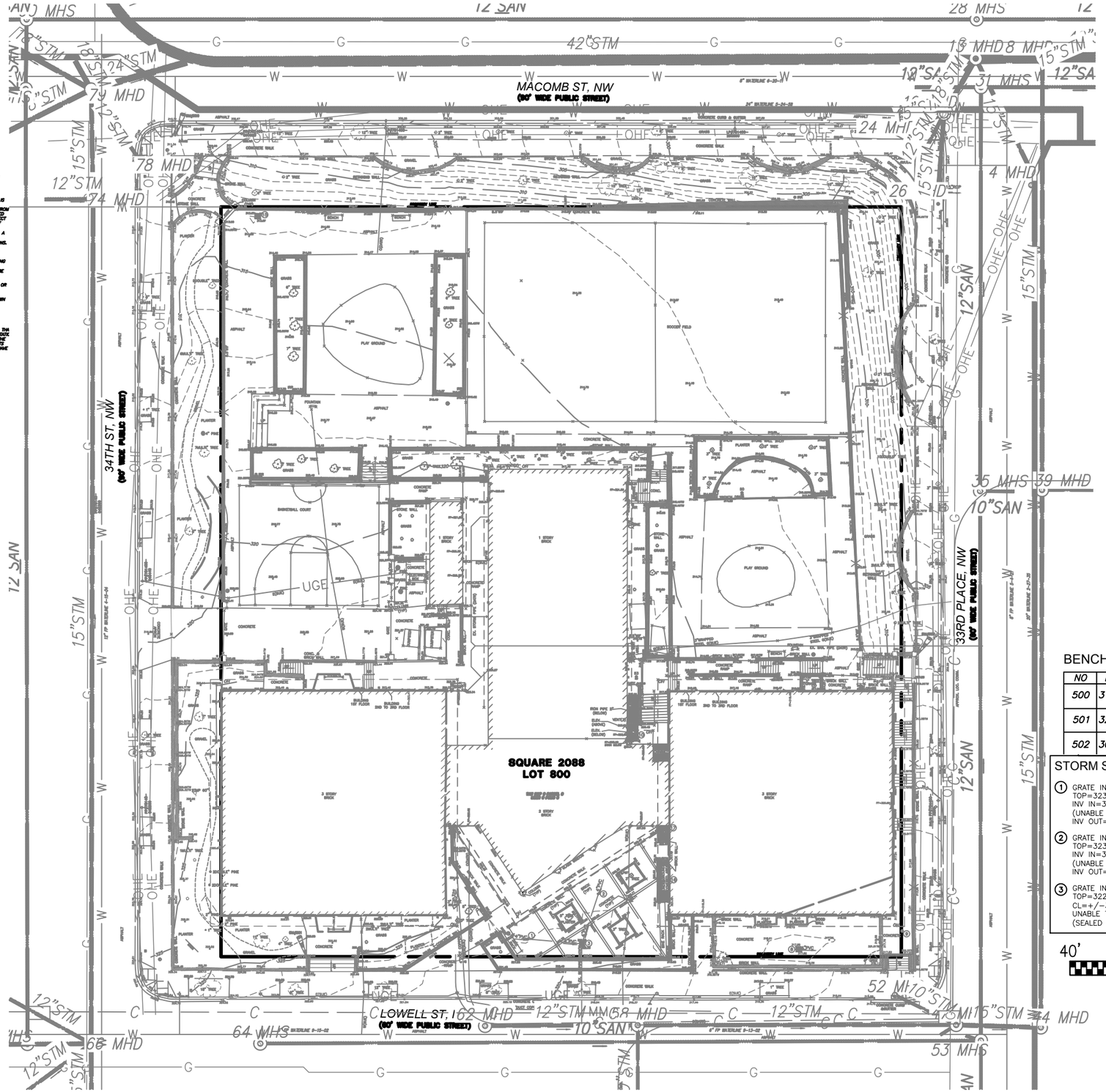
DANIEL R. SCHREIVER
LICENSED SURVEYOR
DISTRICT OF COLUMBIA LICENSE NO. LS 900589
FOR AMT, LLC

LEGEND:

BUSH
TREE
PINE
STUMP
GRATE INLET
GRATE INLET ROUND
STORM MANHOLE
DRAIN
ROOF DRAIN
POST
SINGLE POST SIGN
TRAFFIC SIGNAL POLE
LIGHT POLE
POWER POLE
GUY WIRE
TRASH CAN
LAMP
ELECTRIC BOX
ELECTRIC OUTLET
GROUND SHOT
TOP OF WALL ELEVATION
SANITARY SEWER MANHOLE
GAS METER
VENT
BOLLARD
TRIANGLE
WATER MANHOLE
HOSE BIBB
GUY WIRE
FIRE HYDRANT
BENCHMARK
CURB AND GUTTER
WATERLINE PAINT MARK
UNDERGROUND COMMUNICATION PAINT
UNDERGROUND ELECTRIC PAINT
OVERHEAD ELECTRIC LINE
UNDERGROUND GAS PAINT
OVERHANG
WROUGHT IRON FENCE
DATA ACCORDING TO RECORDS
FINISH FLOOR ELEVATION
MEDIN DOOR
BUILDING
WALL
UNDERGROUND AREA

UTILITY INFORMATION:

UTILITY COMPANY	STATUS
VERIZON 13101 Columbia Pike FDC-1 Silver Spring, MD 20904	COMPOSITE OF VERIZON PLANS
PEPCO 701 Ninth St, N.W. Washington, DC 20068	NO REPLY AT THIS TIME
WASHINGTON GAS 6801 Industrial Road Springfield, VA 22151	COMPOSITE OF WASHINGTON GAS PLANS
DC WATER 5000 Overlook Avenue, S.W. Washington, DC 20032	COMPOSITE OF DC – DPW PLANS VL 15–16 WATER, UM 15–16 WATER UM 15–16 SEWER



N

TRAVERSE DATA:				
NO	NORTHING	EASTING	ELEV	DESCRIPTION
100	4839.8151	10869.0734	313.24	MAG NAIL
101	4840.1721	11204.3103	293.78	CROSS–CUT
102	4680.9004	11233.9193	300.64	REBAR & CAP
103	4463.9303	11234.2596	313.23	REBAR & CAP
104	4457.1453	11079.6993	318.71	CROSS–CUT
105	4446.6107	10875.0312	326.00	CROSS–CUT

BENCH MARK DATA:

NO	ELEV	DESCRIPTION
500	313.26	CROSS–CUT SET ON SOUTH BOLT OF FIRE HYDRANT
501	325.78	SQUARE CUT ON TOP OF WALL
502	309.88	SQUARE CUT ON TOP OF WALL

STORM SEWER DATA:

1. GRATE INLET
   TOP=323.03
   INV IN=322.33
   (UNABLE TO GET CONNECTION)
   INV OUT=322.30
2. GRATE INLET
   TOP=323.19
   INV IN=322.47
   (UNABLE TO GET CONNECTION)
   INV OUT=322.46
3. GRATE INLET
   TOP=322.55
   CL=+/–317.9
   UNABLE TO GET INVERTS
   (SEALED COVER)
8. GRATE INLET
   TOP=317.83
   INV OUT=+\–316.4
9. DRAIN
   TOP=317.66
   CL=+/–315.8
10. DRAIN
    TOP=307.73
    CL=+/–306.4
15. GRATE INLET
    TOP=313.70
    CL=+/–308.8
    (FULL OF WATER)
16. DRAIN
    TOP=UNABLE TO GET TOP
    (COVERED AREA)
17. DRAIN
    TOP=320.69
    CL=+/–319.6

40' 20' 0 40' 80'

1" = 40'

BZA Submission **Existing Grading Plan**

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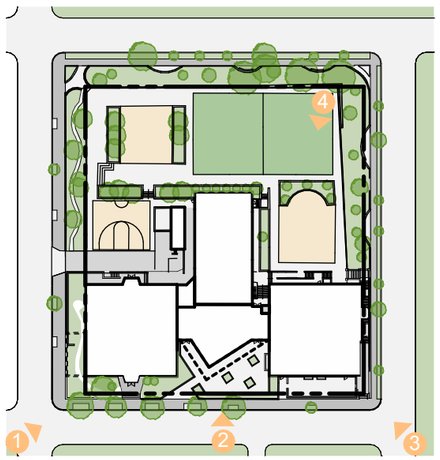
1. South-West Corner

2. South Entry



KeyPlan

NOT TO SCALE

3. South-East Corner

4. North from Field

BZA Submission **Existing Conditions**

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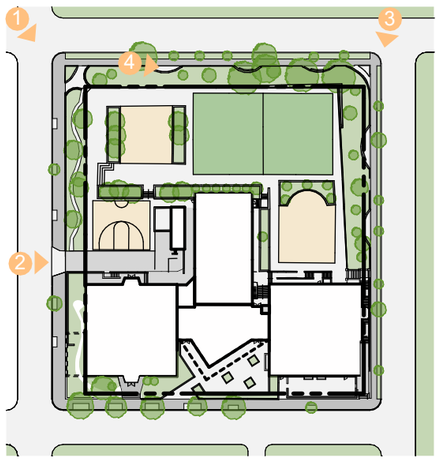
1. North-West Corner

2. Loading Dock



KeyPlan

NOT TO SCALE

3. North-East Corner

4. North Site Walls

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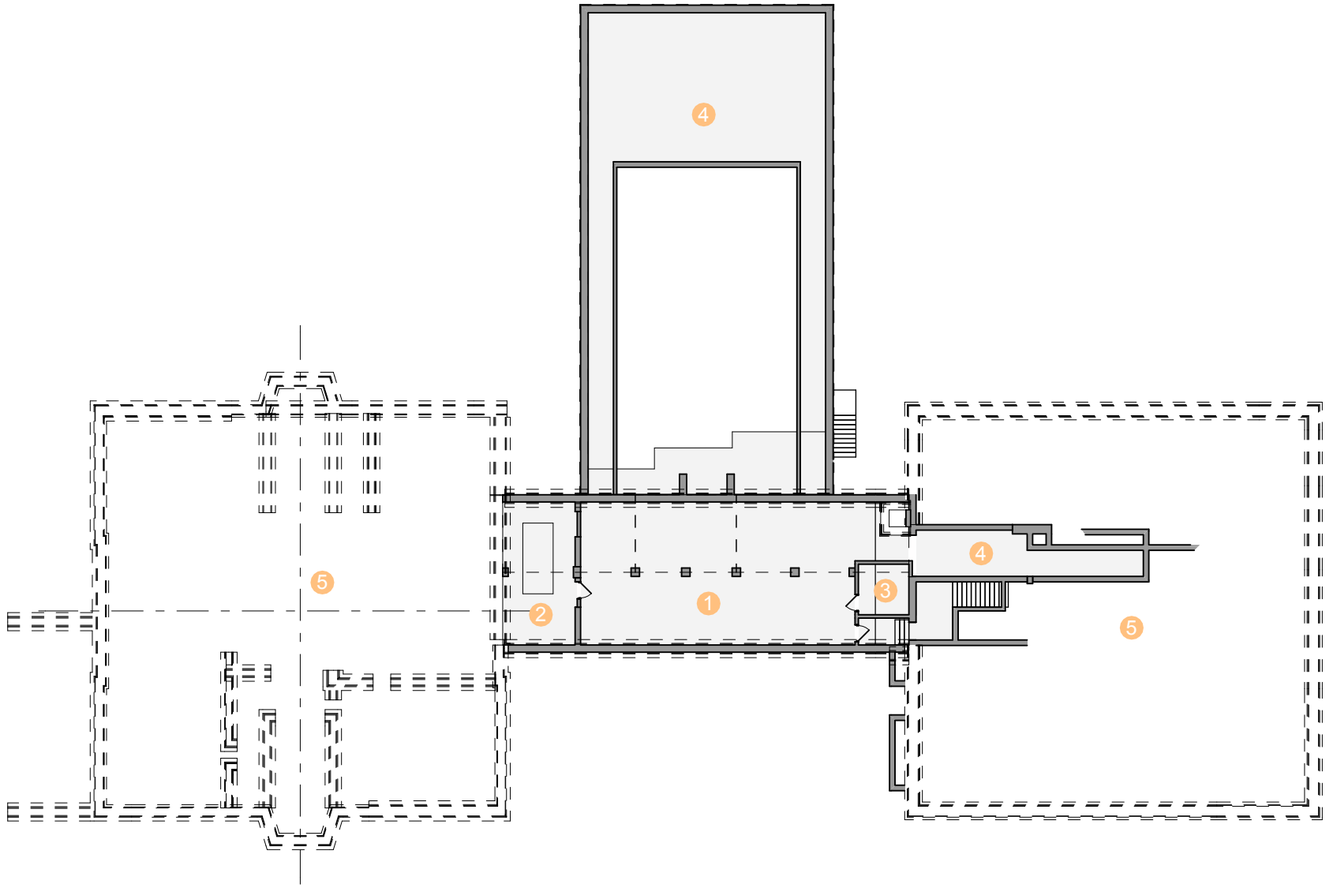
1. Main Mechanical Room
2. Main Electrical Room
3. Elevator Control Room
4. Partial Height Mechanical Tunnel
5. Un-Excavated



N

0 30' 60'

SCALE: 1" = 30'

Existing Lower Level

BZA Submission **Existing Lower Level Plan**

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1. Entry Plaza
2. Administrative Suite
3. Kitchen
4. Multi-Purpose Room
5. Stage
6. Early Education Classroom
7. Stair
8. Circulation
9. Storage
10. Historic Entry
11. Elevator

N

0 30' 60'

SCALE: 1" = 30'

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1. Library
2. Administrative Area
3. Mechanical Room
4. Multi-Purpose Room
5. Storage
6. Education Classroom
7. Stair
8. Circulation
9. Storage
10. Resource Room
11. Elevator
12. Specials Classroom
13. Mechanical / JC
14. Restroom

N

0 30' 60'

SCALE: 1" = 30'

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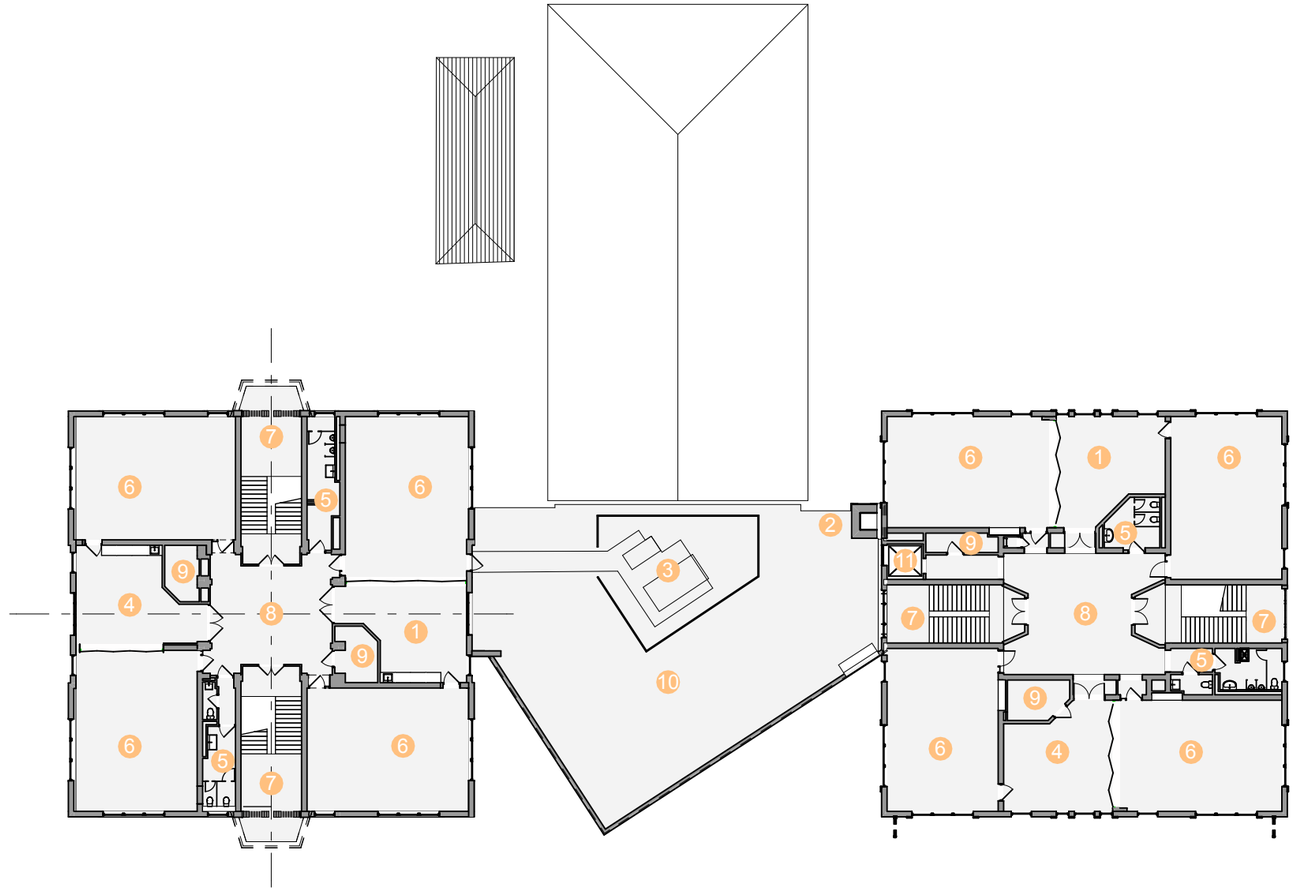

1. Specials Classroom
2. Historic Chimney
3. Cooling Tower / Mechanical Enclosure
4. Resource Room
5. Restroom
6. Primary Education Classroom
7. Stair
8. Circulation
9. Storage
10. Roof
11. Elevator

N

0 30' 60'

SCALE: 1" = 30'

BZA Submission **Existing 3rd Floor Plan**

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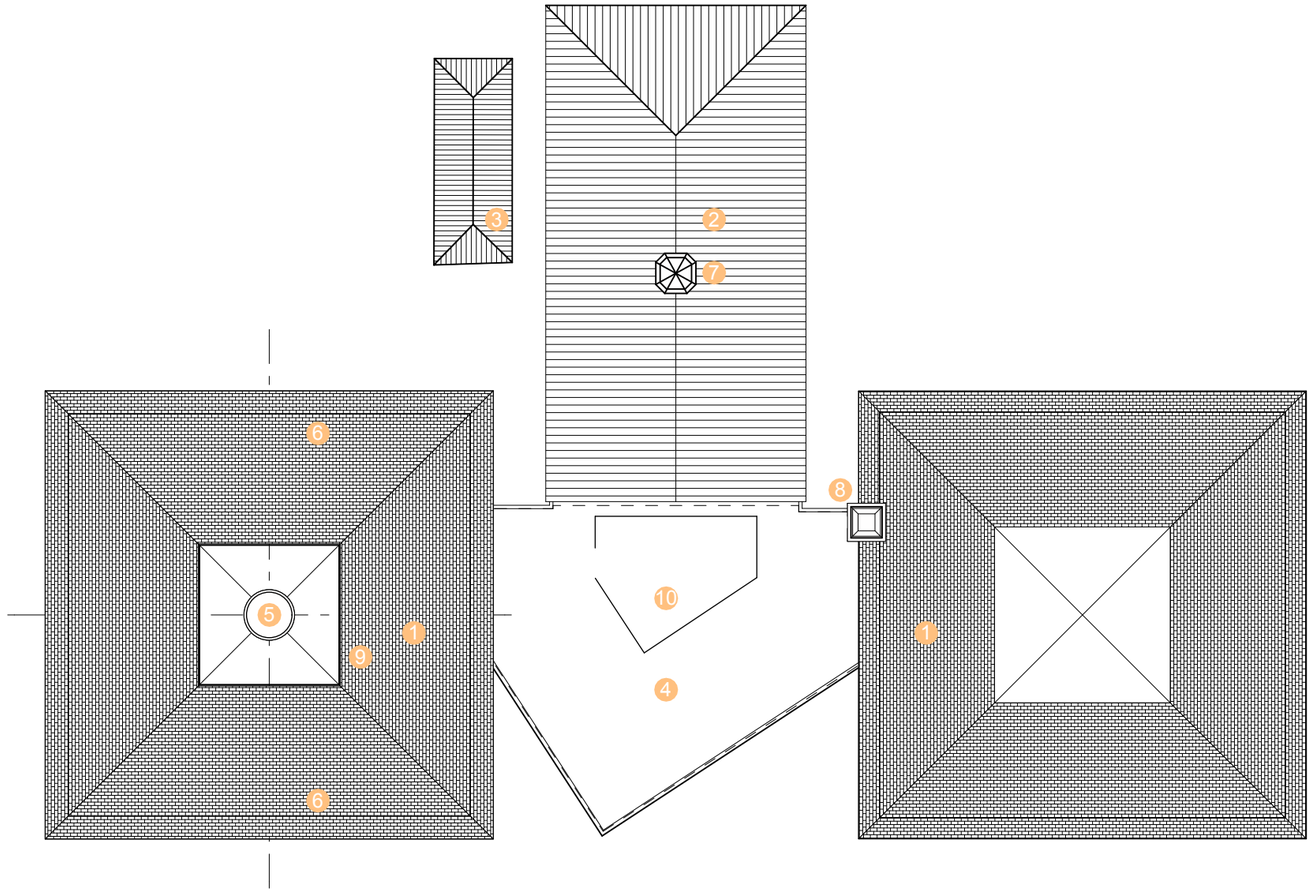

1. Slate Roof
2. Standing Seam - painted
3. Standing Seam - prefinished
4. Bitimous flat roof
5. Historic Roof Ventilator - 1910
6. Historic Balcony - 1910
7. Cupola - 1930
8. Chimney with Copper cap - 1923
9. Mechanical vent - contemporary
10. Mechanical Enclosure

N

0 30' 60'

SCALE: 1" = 30'

BZA Submission **Existing Roof Plan**

JOHN EATON ELEMENTARY SCHOOL MODERNIZATION

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